

VICINITY MAP
SCALE: = NOT TO SCALE

UTILITY DISCLAIMER

THE UNDERGROUND UTILITIES HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION AND EXISTING DRAWINGS. THE SURVEYOR MAKES NO GUARANTEE THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED ALTHOUGH HE DOES CERTIFY THAT THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM THE INFORMATION AVAILABLE. THIS SURVEYOR HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES.

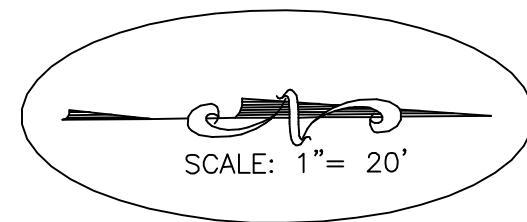
NOTE: EXISTING UTILITY LOCATION ARE APPROXIMATE. THEY ARE BASED UPON AVAILABLE RECORDS AND ARE SHOWN TO THE BEST OF OUR ABILITY. ALL UTILITY LOCATION MUST BE FIELD VERIFIED

PROJECT NARRATIVE

THE PROJECT SITE IS LOCATED AT 1326 FORT STEVENS DRIVE, NW IN THE DISTRICT OF COLUMBIA MORE PRECISELY ON PAR 87/570 IN SQUARE 2791. THE TOTAL AREA OF THE PROPERTY IS 3,436.0 SQUARE FEET. THE SITE IS VACANT AND IT IS THE INTENT OF THE OWNER TO CONSTRUCT A THREE (3) STORIES BUILDING WITH BASEMENT FOR RESIDENTIAL DWELLING USES. THERE WILL BE THREE (3) CONDOMINIUM UNITS IN RA-1 ZONING AREA.

FOR THIS PROJECT SITE, THE STORMWATER MANAGEMENT PLAN IS NOT REQUIRED DUE TO LAND DISTURBANCE ACTIVITIES. THE SITE SOIL TYPES ARE SASSAFRAS-URBAN LAND COMPLEX SgC AND URBAN LAND-SUNNYSIDE COMPLEX.

PROPOSED WORKS FOR THIS PROJECT SITE WILL INCLUDE ONE NEW THREE (3) STORIES BUILDINGS, NEW 1" WATER AND 6" SANITARY SEWER SERVICE CONNECTIONS. ALL CONNECTIONS WILL BE FROM FORT STEVENS DRIVE NW WITH NECESSARY BACK FLOW PREVENTERS.



SHEET LIST

- C1- EXISTING CONDITIONS PLAN
- C2- SITE UTILITY CONNECTION PLAN
- C2A- DC WATER STANDARD DETAILS
- C2B- PROFILE & DC WATER STANDARDS
- C2C- DC WATER FORMS
- C2D- EASEMENT COVENANT DOCUMENTS

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EXISTING CONDITIONS

PROJECT ADDRESS
#1320 & 1326 FORT STEVENS DRIVE, N.W.
PAR 88/234, PAR 87/570 SQUARE 2791
WASHINGTON, DC. 20011

AAH CONSULTANTS LLC

ENGINEERS SURVEYORS
4200 FORBES BLVD, SUITE 111
LANHAM, MARYLAND 20706
301-429-1750 (PH) 301-429-1757 (FAX)

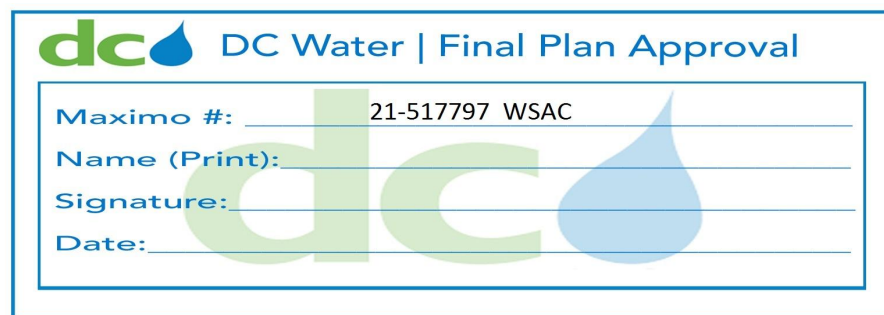
DRAWN BY: R.P.
DESIGNED BY:
CHECKED BY: A.A.H.

SCALE 1" = 20'
DATE 09-24-18
SHEET C-1
JOB No. 19-055
Board of Zoning Adjustment
District of Columbia
CASE NO.20920
COMMIT NO.11

PEABODY STREET, N.W.
00' R.O.W. (PUBLIC) ASPH. PMNT.

LOT 809
#1315
4 STY. BRICK
W/BSMT.
OWN: PEABODY CORP. INC

LOT 812
#6000-6020
4 STY. BRICK
W/BSMT.
OWN: FORT VIEW LP



WASA BENCHMARK

WASA SEWER MANHOLE LOCATED AT
RITTENHOUSE STREET NW
SHEET: EF - 25-26 - NW- SEWER
TOP ELEV- 297.5

LEGEND

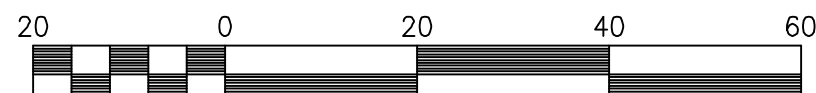
- UNKNOWN MANHOLE
- PEPCO MANHOLE
- SEWER MANHOLE
- TELEPHONE MANHOLE
- WATER MANHOLE
- FIRE HYDRANT
- GAS VALVE
- GAS METER
- LIGHT POLE
- UTILITY POLE
- WATER METER
- WATER VALVE
- MONITORING WELL
- ELECTRIC POWER LINE
- GAS LINE
- SEWER LINE
- TELEPHONE LINE
- WATER LINE
- CHAIN LINK FENCE
- WOOD FENCE
- OVER HEAD WIRE
- PROPERTY LINE

UTILITY COMPANIES

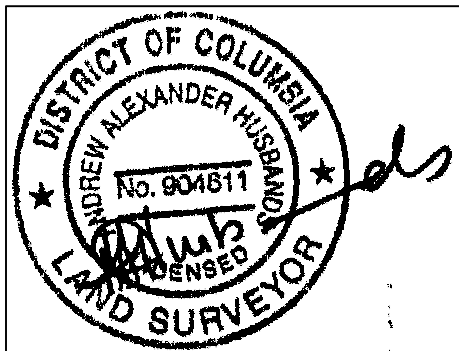
POTOMAC ELECTRIC POWER CO.
701 9th STREET, N.W.
WASHINGTON D.C. 20068
202-331-6237
GAS SERVICE
WASHINGTON GAS COMPANY
6801 INDUSTRIAL RD
SPRINGFIELD VA. 22151
703-750-1000
TELEPHONE SERVICE
VERIZON
3901 CALVERTON BOULEVARD
BELTSVILLE, MD. 20705
301-595-6052
SEWER & WATER SERVICE
D.C. WATER & SEWER AUTHORITY
1100 4TH STREET SW WASHINGTON DC
202-646-8600

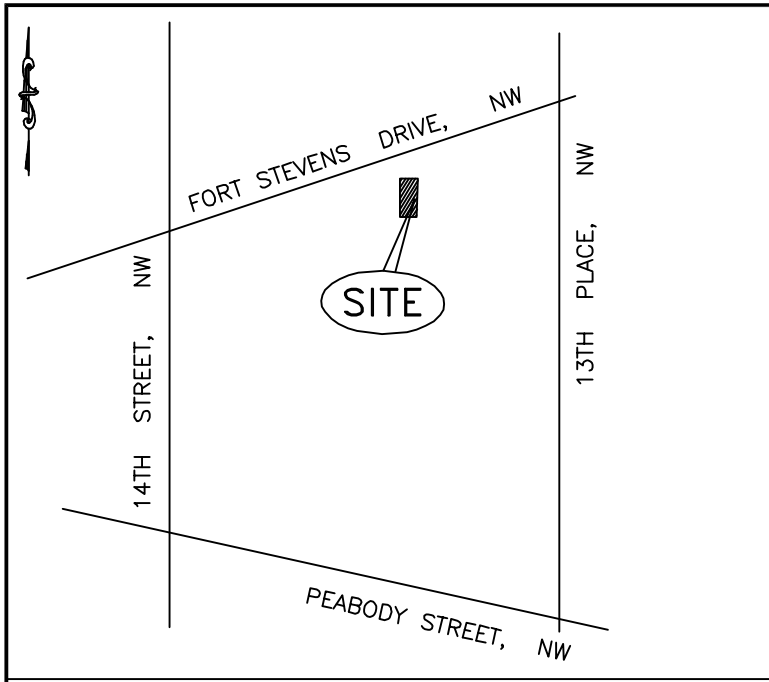
GENERAL NOTES:

- TOTAL AREA OF PROPERTY BY RECORD IS 3,436.0 SQ.FT. AS SHOWN.
- APPROXIMATE AREA OF BUILDING FOOTPRINT AS SHOWN 0 SQ. FT..
- FLOOD ZONE DESIGNATION "C" MINIMAL HAZARD FEMA FLOOD INSURANCE MAP PANEL NO. 110001 0010C.
- PROPERTY IS ZONED RA-1, A RESIDENTIAL USE ZONE AS PER CURRENT AVAILABLE ZONING MAP.
- TOTAL NUMBER OF PARKING SPACES ON SITE = 0
- PROPERTY MEASURED DIMENSIONS SUBJECT TO MODIFICATION AND/OR VERIFICATION BY THE OFFICE OF THE SURVEYOR OF THE DISTRICT OF COLUMBIA.
- THERE IS NO OBSERVABLE EVIDENCE OF CEMETERIES ON THE PROPERTY.



Scale 1" = 20'





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General Construction Notes

- Contact:** Notify the following DC Water departments prior to the commencement of utility construction:
 - Construction Inspection Section at 202-787-4024 at least two weeks prior to the commencement of utility construction to schedule pre-construction meeting.
 - Department of Water Services at 202-612-3400 at least one week prior to the commencement of water utility construction.
 - Department of Sewer Services at 202-264-3862 or 3873 at least one week prior to the commencement of sewer utility construction.
- Standards:** All construction, materials, and appurtenances shall comply with the latest editions of the DC Water Project Design Manual, Standard Details & Design Guidelines, and Specifications.
- Lead Service Replacement:** If this project includes the replacement of a water main that has existing lead water service laterals, the Contractor is responsible for contacting the DC Water Construction Inspection Section at 202-787-4024 at least 90 days prior to construction to allow adequate time to initiate standard lead service replacement protocol. Lateral replacement includes the full length of pipe in public space.
- Owner Responsibility:** The Owner is responsible for all work and costs associated with excavation, installation, and restoration of public space to perform a water/sewer connection/abandonment. Once the Contractor has obtained a Public Space Permit he/she must then contact DC Water prior to performing the excavation to install/inspect the utility work. The Owner shall be held responsible for all damages to existing structures and utilities caused by construction activity.
- DC Water Responsibility:** DC Water is only responsible for installation of small water service taps (2" diameter and less) to the public main, small water service tap removals from the public main, furnishing & installing the meter in public space, and inspection of work performed on the public systems.
- Miss Utility:** Contact Miss Utility at 800-257-7777 48 hours before any digging.
- Plan Set:** A set of signed & sealed and DC Water stamped Plans shall be kept at all times at the job site on which all changes or variations in the work, including all existing utilities, are to be recorded and/or corrected daily.
- Abandonments:** The Owner must physically disconnect existing water, sewer, and storm laterals that are to be abandoned at their connection to the public main.
- Unmetered Water:** There shall be no unmetered connections to the City's water system, including connections bypassing meters for testing on-site plumbing or for obtaining construction water.
- Pressure Testing Against Valves:** Pressure testing against valves will not be allowed.
- Water Meter Installation:** To schedule the installation of a domestic water meter contact Permit Operations at 202-646-8600. DC Water will furnish and install the meter after the connection to the main has been made and the meter pit/vault has been installed.

February 2017

Page 1

- Cross Contamination Control:** ASSE 1048 certified backflow prevention assemblies are required on all fire services and are to be located inside the building (unless an external location is necessary or required by DC Water) where it is supplied, owned, operated, and maintained by the Owner. DC Water does not furnish nor install fire double check detector fire protection backflow prevention assemblies.
- Utility Service Disruptions:** Phase all utility work to maintain utility services to the surrounding area during all phases of construction. Limit required utility shut-downs in number and duration. Coordinate these shut downs with DC Water Construction Inspection staff.
- Water Valve Operation:** The Contractor is required to coordinate with DC Water for all necessary water main shut downs with adequate advanced notice. Only DC Water employees may shut down a public water main. A certified plumber is only authorized to turn off valves inside meter pits.
- Water Gate Valve Location:** Locate gate valves for domestic and fire services as close to the public water main as possible. However, if necessary adjustments are required due to conflicts, coordinate with a DC Water inspector.
- Material:** The Contractor is responsible for submitting shop cuts to the appropriate DC Water office for approval or obtaining a DC Water approval stamp for all work in public space in advance of installation. Only approved materials may be used.
- Temporary Conditions Minimum Cover:** A nominal four feet of cover is required for all water mains at final grade. Cover of less than four feet requires DC Water approval.
- As-Built:** Developers, contractors and/or plumbers must submit final construction as-built information to the appropriate DC Water inspector(s) for review and approval, upon completion of installation of new services or abandonment of existing services. When the final as-built is approved all deposits will be returned to the applicant. See DC Water as-built requirements for additional information.
- Conflicts:** The Contractor shall field verify the location of existing underground utilities prior to installation of proposed utilities. A minimum of one foot vertical and five feet horizontal clearance shall be maintained from any utilities and public water and sewer mains.
- Fire Hydrant Use:** The use of a fire hydrant as a water source is prohibited unless a permit has been obtained from DC Water for use of a specific hydrant(s). Daily or extended use permits can be obtained from the DC Water Permit Operations Department 202-646-8600.
- Fire Hydrant Status:** The Contractor shall notify FEMS at 202-277-1889, prior to taking any fire hydrant out of service or rendering any hydrant inaccessible for any reason. FEMS is also to be provided with the location of any new installation of private fire hydrants.
- DC Water Safety Office:** The DC Water Safety Office can be contacted at 202-787-4350.
- Sewer Backwater Prevention:** The plumbing system must be in compliance with Section 715 of the 2005 International Plumbing Code which states a backwater is valve is required for all plumbing fixtures below the elevation of the manhole cover of the next upstream manhole in the public sewer.

February 2017

Page 2

UTILITY COMPANIES

POTOMAC ELECTRIC POWER CO.
701 9th STREET, N.W.
WASHINGTON D.C. 20068
202-331-6237

GAS SERVICE
WASHINGTON GAS COMPANY
6801 INDUSTRIAL RD
SPRINGFIELD VA. 22151
703-750-1000

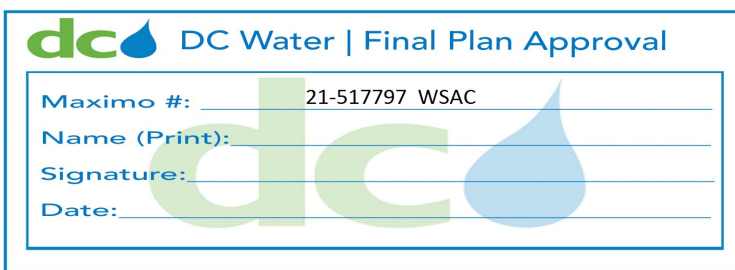
TELEPHONE SERVICE
VERIZON
3901 CALVERTON BOULEVARD
BELTSVILLE, MD 20705
301-595-6052

SEWER & WATER SERVICE
D.C. WATER & SEWER AUTHORITY
1100 4TH STREET SW WASHINGTON DC
202-646-8600

LEGEND

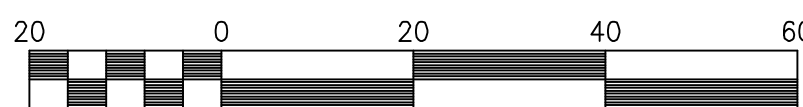
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- WATER LINE
- CHAIN LINK FENCE
- WOOD FENCE
- OVER HEAD WIRE
- PROPERTY LINE

PROPOSED PERMEABLE PAVEMENT

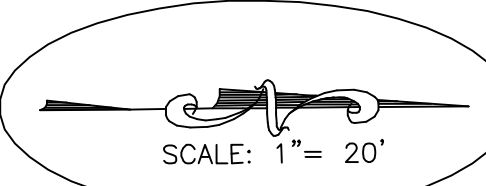
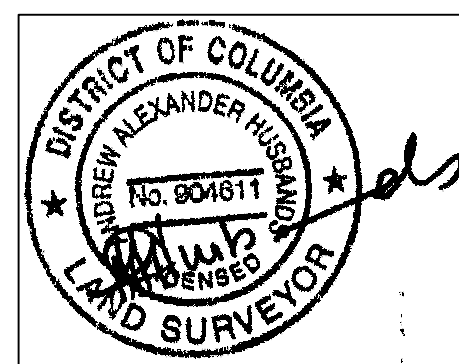


WASA BENCHMARK

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RITTENHOUSE STREET NW
SHEET: EF - 25-26 - NW - SEWER
TOP ELEV- 297.5



Scale 1" = 20'



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SITE UTILITY CONNECTION PLAN

SHEET TITLE

AAH CONSULTANTS LLC
ENGINEERS SURVEYORS

4200 FORBES BLVD, SUITE 111
LANHAM, MARYLAND 20706
301-429-1750 (PH)
301-429-1757 (FAX)

SCALE

1" = 20'

DATE

09-24-18

SHEET

C-2

JOB No.

19-055

PROJECT ADDRESS

#1320 & 1326 FORT STEVENS DRIVE, N.W.
PAR 88/234, PAR 87/570 SQUARE 2791

CHECKED BY:

A.A.H.

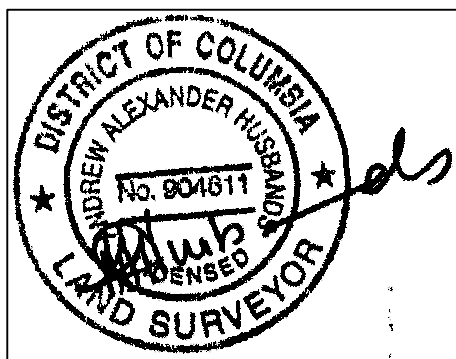
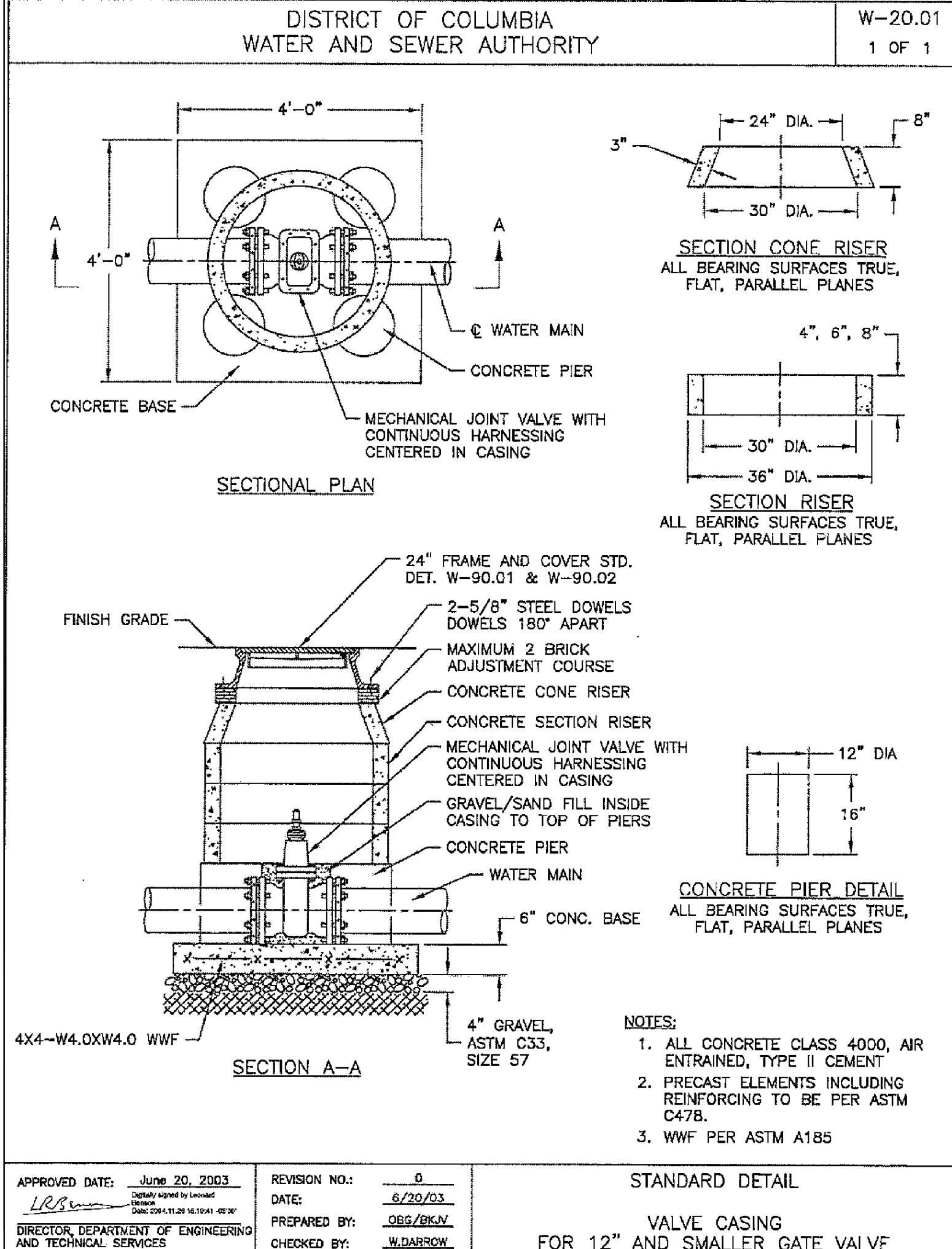
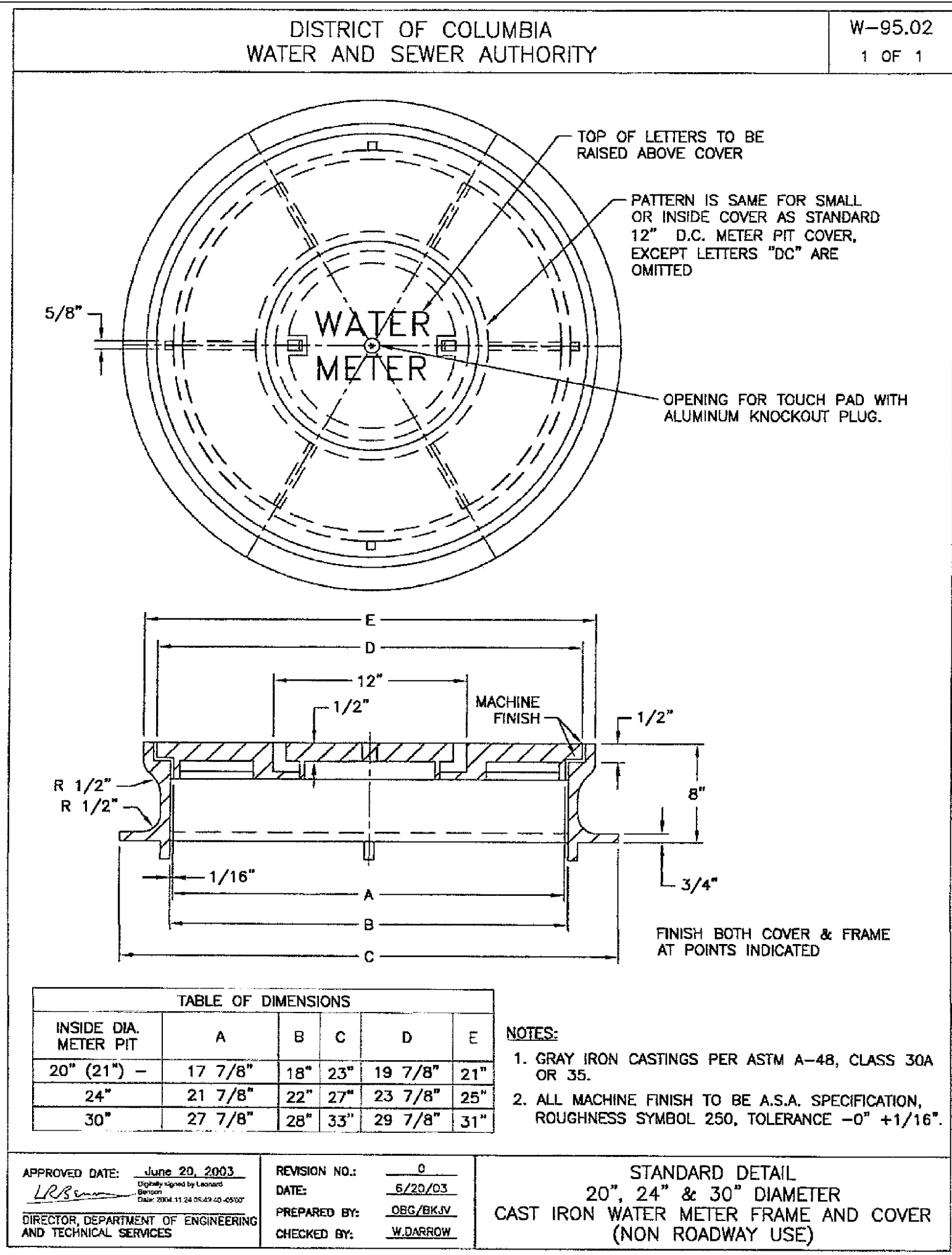
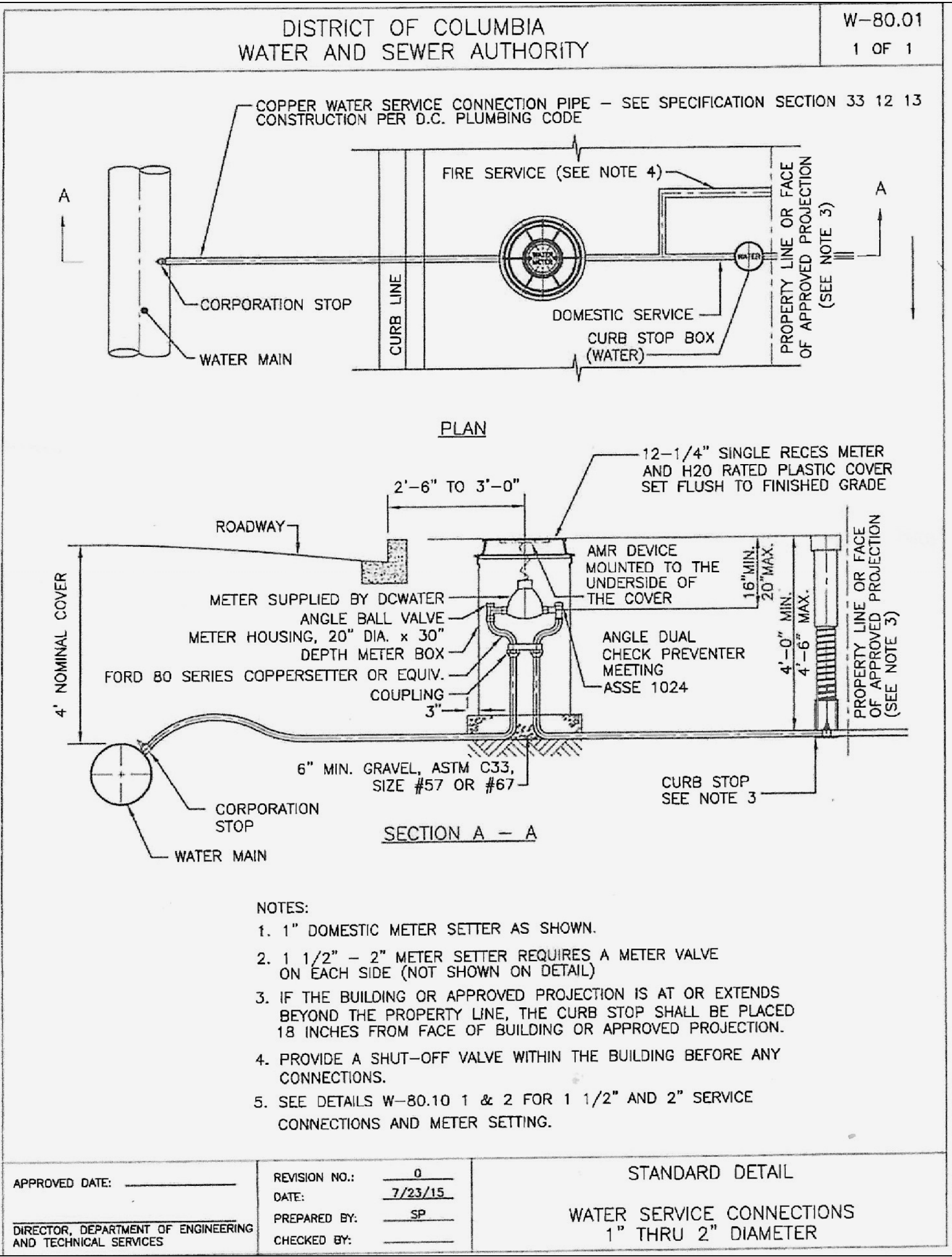
DESIGNED BY:

F.K.

DRAWN BY:

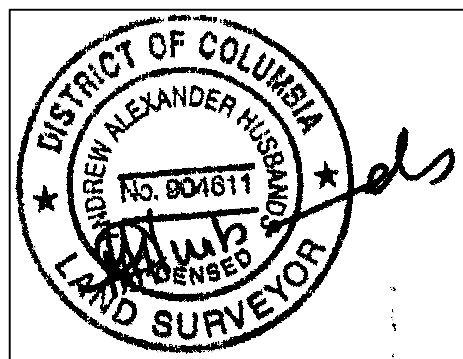
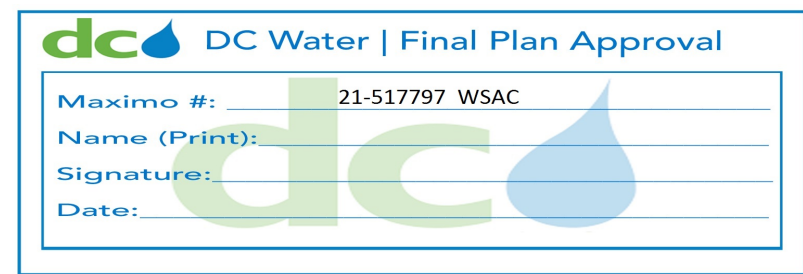
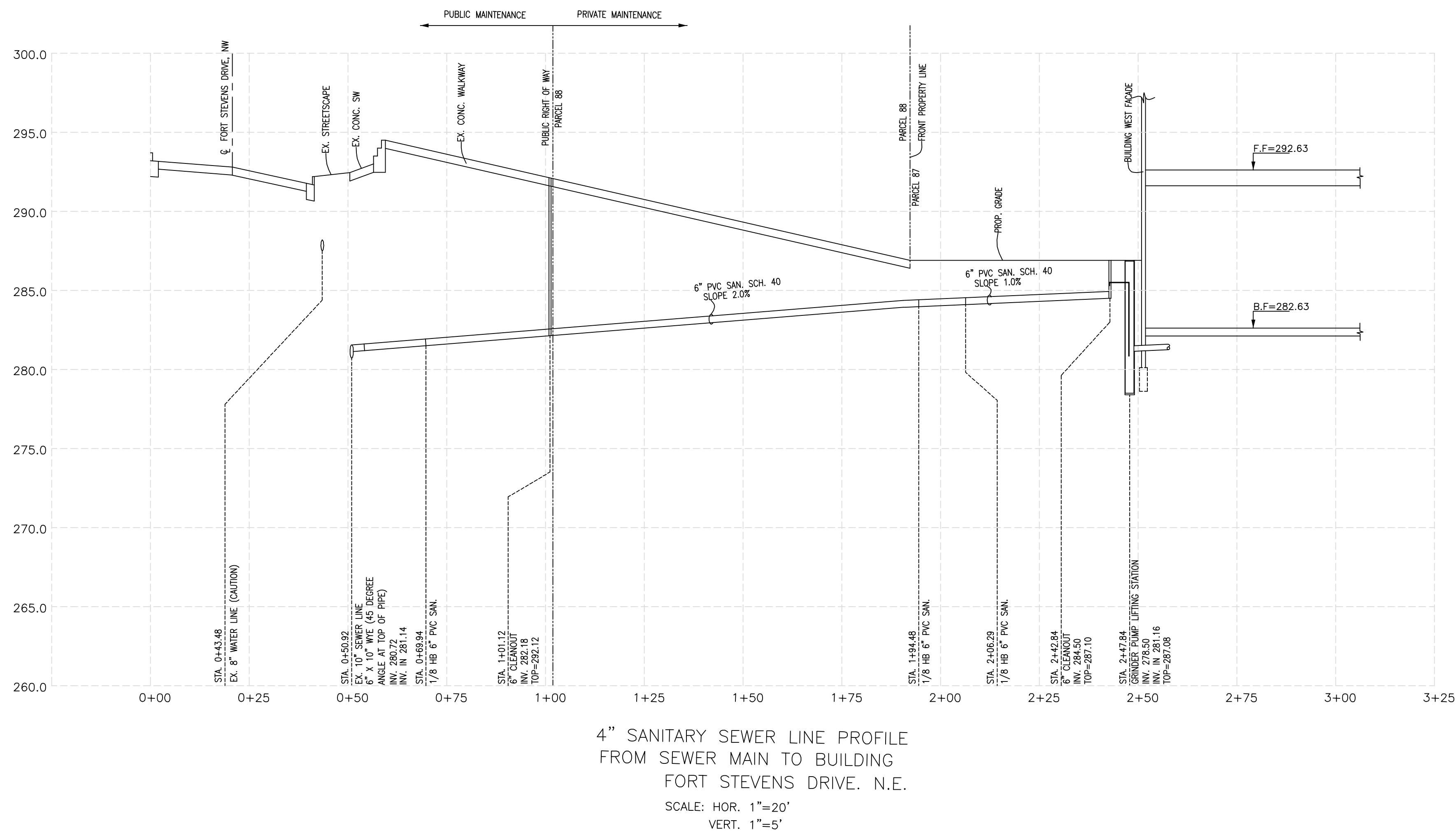
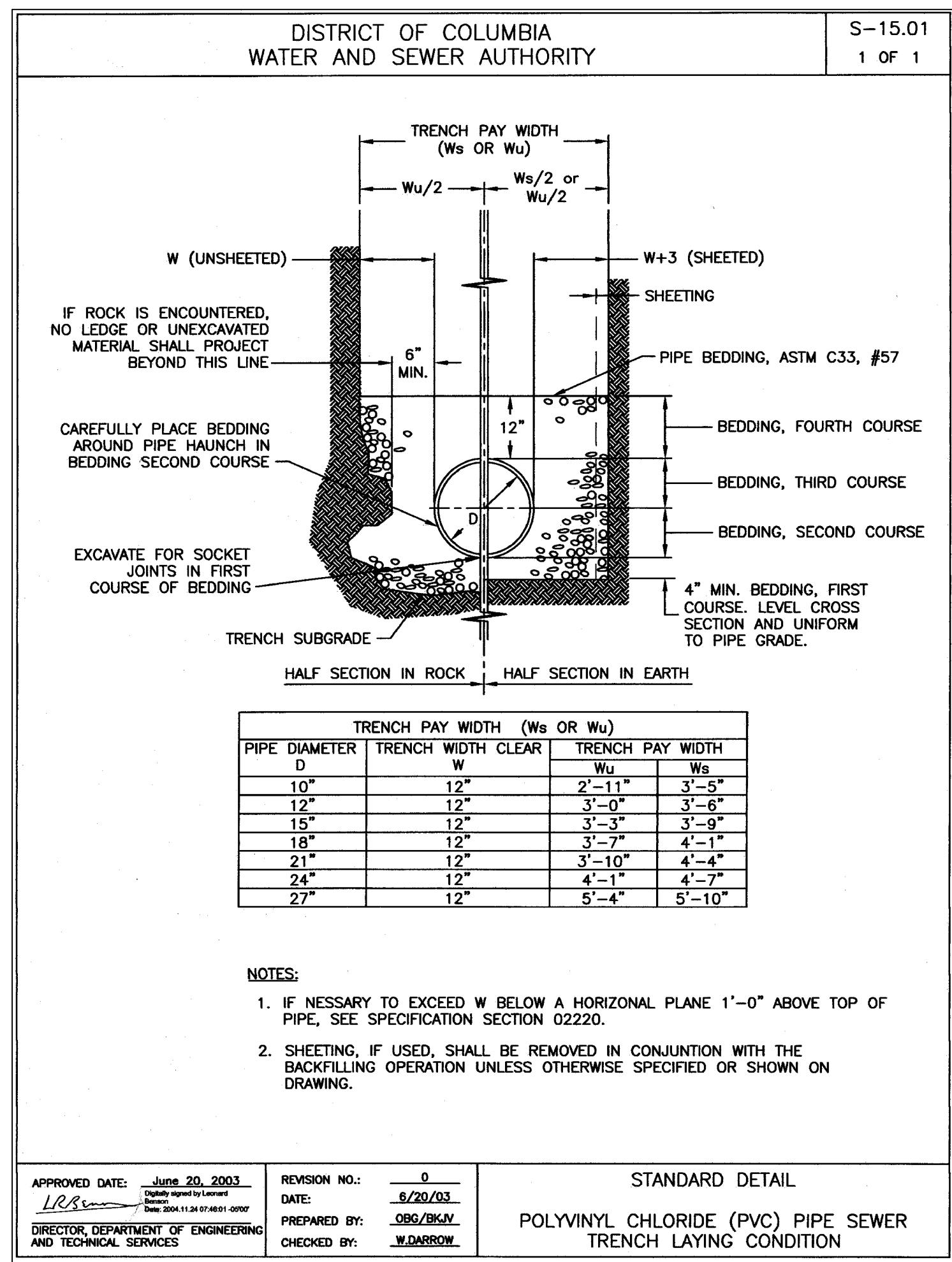
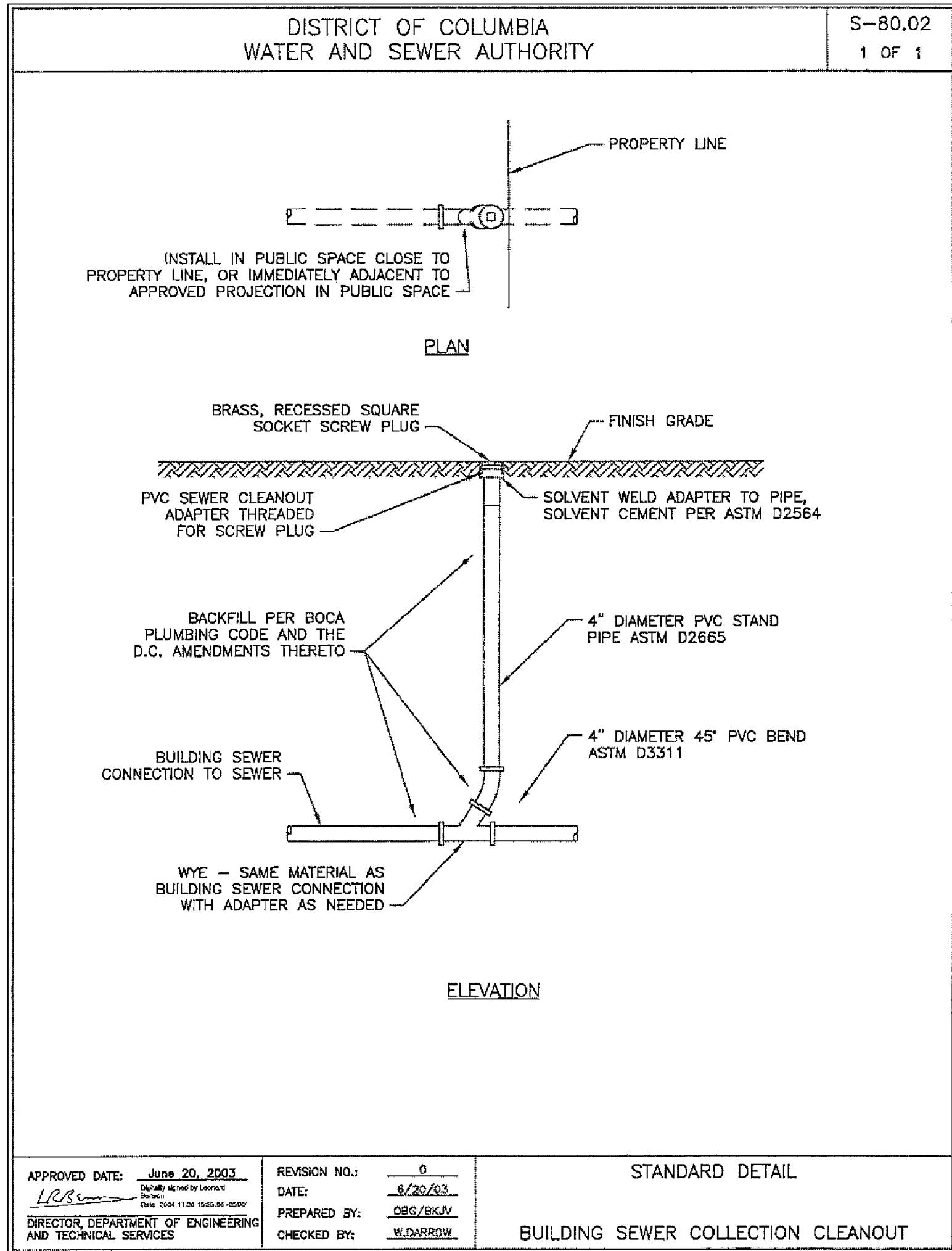
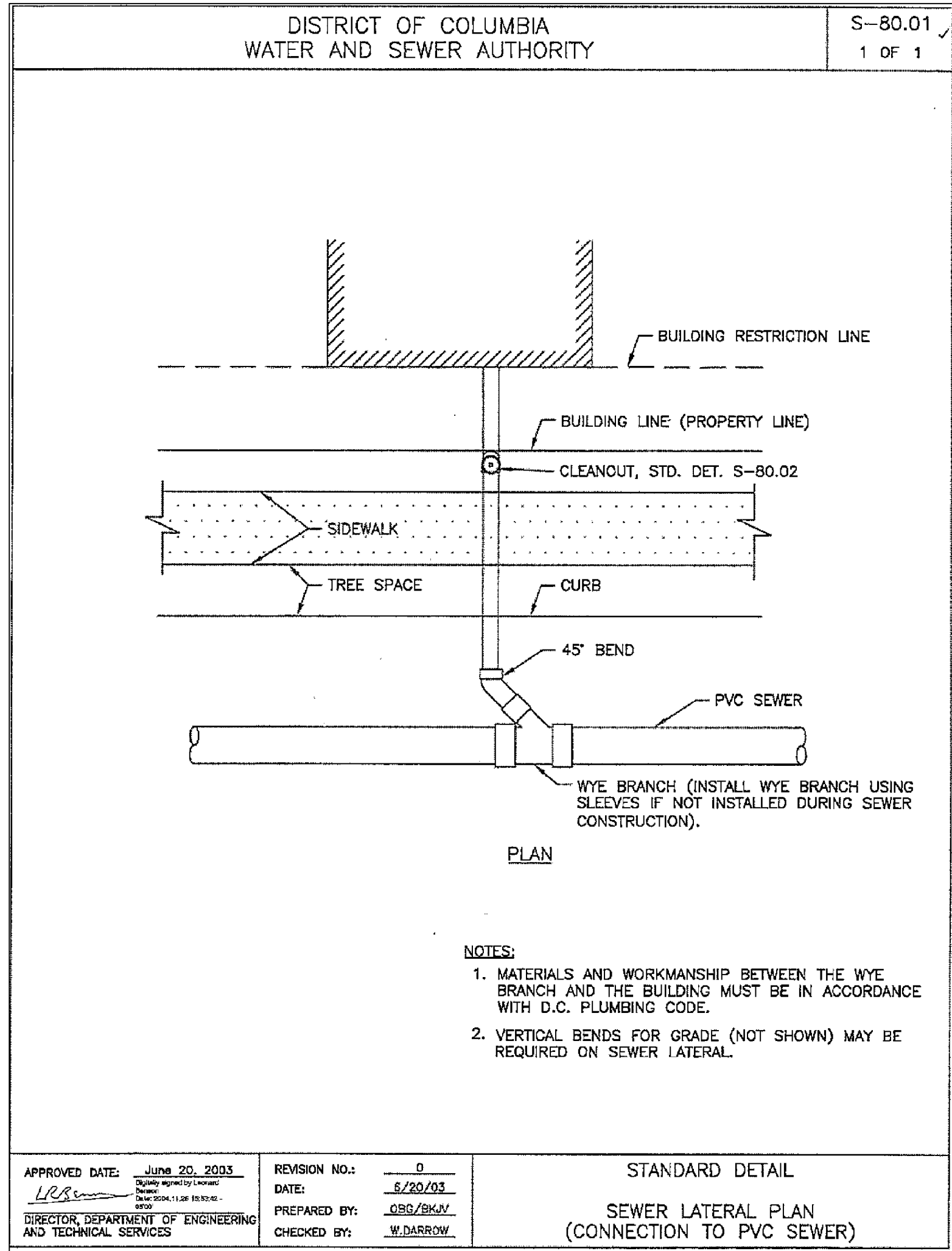
R.P.

WASHINGTON, DC. 20011



01-06-21

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No.				
DC WATER STANDARD DETAILS				
PROJECT ADDRESS #1320 & 1326 FORT STEVENS DRIVE, N.W. PAR 86/234, PAR 87/570 SQUARE 2791 WASHINGTON, DC 20011				
AAH CONSULTANTS LLC ENGINEERS SURVEYORS 4200 FORBES BLVD, SUITE 111 LANHAM, MARYLAND 20706 301-429-1750 (PH) 301-429-1757 (FAX)		DESIGNED BY: R.P.	CHECKED BY: F.K.	A.A.H.
SCALE 1" = 20'				
DATE 09-24-18				
SHEET C-2A				
JOB No. 19-055				



01-06-21

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REVISIONS DESCRIPTION

DATE

DC WATER STANDARD
DETAILS & PROFILE

PROJECT ADDRESS
#1320 & 1326 FORT STEVENS DRIVE, N.W.
PAR 86/234, PAR 87/570 SQUARE 2791
WASHINGTON, DC 20011

AAH CONSULTANTS LLC
ENGINEERS SURVEYORS
4200 FORBES BLVD, SUITE 111
LANHAM, MARYLAND 20706
301-429-1750 (PH) 301-429-1757 (FAX)

DRAWN BY: R.P.
DESIGNED BY: F.K.
CHECKED BY: A.A.H.

SCALE 1" = 20'

DATE 09-24-18

SHEET C-2B

JOB No. 19-055

DEED OF EASEMENT

THIS DEED OF EASEMENT ("Easement") is made as of the 12th day of January, 2019, by and Florence Olajide as the sole owner of the Parcel identified 1326 Fort Stevens Dr. NW, Washington DC. 20011 and further identified as Par 0087/0570, and Robert Earl Moore sole member of Res Management Services LLC, a limited liability company (Parcel 87/165 and 88/240) also identified as 1328 Fort Stevens Dr. NW. Washington DC. 20011.

RECITALS:

R-1 The owner of 1326 Fort Stevens Dr. NW. Washington, DC. and further identified as PAR 087/0570 as more fully described in Exhibit A attached hereto and incorporated herein by reference ("Parcel A").

R-2 The owners of 1328 Fort Stevens DR. NW. Washington, DC. And further identified as PAR 87/165 and 88/240, as more fully described on Exhibit B attached hereto and incorporated herein by reference ("Parcel B")

R-3 The owner of Parcel A and Parcel B have acknowledged the need for an easement across a portion of Parcel B for the use and benefit of establishing an Ingress/egress and Utility access way for the Grantee and future owners of Parcel A hereby establishes an easement as more fully set forth below.

NOW, THEREFORE, in consideration of sum of ten Dollars (\$10.00) paid by Parcel A to Parcel B, and other good and valuable consideration, hereby acknowledges, Parcel B for itself, its successors and assigns, does hereby grant and convey to Parcel A, and the heirs, successors, and assigns, of Parcel A and each and every subsequent owner of Parcel B, forever and in perpetuity, an easement and right of way over and through a portion of Parcel B as described on Exhibit C attached hereto and incorporated herein and as depicted on Exhibit D attached hereto and incorporated herein (the "Easement Area"), said Easement Area to be used by Parcel A for vehicular and pedestrian access for ingress and egress and utility access to and from Parcel A.

This Easement shall run with the land and bind future owner of Parcel A

The costs of maintenance and repair of the Easement Area shall be solely the responsibility of Parcel A, their successors and assigns and each and every subsequent owner of Parcel A

IN WITNESS WHEREOF (i) the said Parcel A, Florence Olajide, as sole owner of the Parcel A has caused these presents to be signed to acknowledge and deliver these presents as its act and deed and (ii) The Parcel B, Robert Earl Moore as the sole owner of Res Management services LLC, Maryland Limited Liability company and have entered into and signed this easement, all as of the day and year first above written.

Florence Olajide, as sole owner of Parcel A.

BY: Florence Olajide

Florence Olajide

Res Management Services LLC,

Maryland Limited Liability Company.

By: Robert Earl Moore

Robert Earl Moore, Sole Member

DISTRICT OF COLUMBIA, ss.,

I, The undersigned, a Notary Public for the Jurisdiction aforesaid, do hereby certify that Florence Olajide, as the owner party to who is personally well known to me as the person who executed the foregoing and annexed easement Agreement bearing date on the 12th day of January, 2019, personally appeared before me in said jurisdiction acknowledged the same to be the act and deed of 1326 Fort Stevens DR. NW. Washington DC. 20011.

GINA A. GANTHER
NOTARY PUBLIC DISTRICT OF COLUMBIA
My Commission Expires June 14, 2021

Gina A. Gantner
Notary Public

My Commission Expires: _____

DISTRICT OF COLUMBIA, ss.,

I, The undersigned, a Notary Public for the Jurisdiction aforesaid, do hereby certify that Robert Earl Moore, as sole member of Res Management Services LLC, a Maryland Limited Liability company, party and who is personally well known to me as the person who executed the foregoing and annexed easement Agreement bearing date on the 12th day of January, 2019, personally appeared before me in said jurisdiction acknowledged the same to be the act and deed of 1328 Fort Stevens DR. NW. Washington DC. 20011.

GINA A. GANTHER
NOTARY PUBLIC DISTRICT OF COLUMBIA
My Commission Expires June 14, 2021

Gina A. Gantner
Notary Public

My Commission Expires: _____

Parcel A

Part of a tract of land called "Woodward's Lot", described by metes and bounds as follows:

Beginning for the same at a point located the following three courses and distances from the intersection of the North line of Peabody Street and the West line of 13th Place (1) North 79 degrees 31' West with the North line of Peabody Street, 72.95 feet (72.99 feet measured); (2) North 19 degrees 43' East, 168 .14 feet to a nail, as shown on a plat of survey recorded in Survey Book 166 at page 336 in the Office of the Surveyor for the District of Columbia; and (3) North 19 degrees 43' East, 50 feet to a point; and running thence (1) North 19 degrees 43' East, 100 feet to a point in the Southerly line of Parcel 88/234; thence (2) with said Southerly line of Parcel 88/234 and the extension thereof; North 79 degrees 57' 30" West, 34.43 feet; thence (3) South 19 degrees 43' West, 100 feet; and thence South 79 degrees 57' 30" East, 34.43 feet to the place of beginning.

Parcel ID: PAR 0087 0570

Parcel B

All that tract of land called "Addition to Woodward's Lot" now known for purpose of assessment and taxation as parcel 88/240; beginning for the same at a point in the south line of Fort Drive, distant the two following distances from the intersection of said line of said Drive with the west line 13th Street (1) due West 212.19 feet to a point of curve, (2) thence West by and with said line of said Drive being the arc of circle, the radius of which is 692 feet, an arc distance of 30.05 feet still West along said tract line said Drive an arc distance of 8.47 feet to the Northeast corner of that part of said tract taxed as Parcel 88/237 thence South 17 degrees 26' 30" West 87.20 feet along the division line between said parcels to the Southeast corner of said parcel 88/237 and the Southwest corner of the land hereby described, thence South 79 degrees 57' 30" East 8 feet to the Southeast corner of the land hereby described and thence North 17 degrees 26' 30" East 90 feet more or less to the place of beginning.

PARCEL ID: PAR 0088 0240

LEGAL DESCRIPTION
EASEMENT
PARCEL 88/240

A parcel of land situated in the District of Columbia, known for Assessment and Taxation Purposes as Parcel 88/240, and shown on Map 4344 B, among the records of the Office of the Surveyor of the District of Columbia. Being more particularly described as follows:

Beginning for the same at a point in the southerly line of Fort Stevens Drive, NW, being the intersection of the westerly Line P 88/234, and said Southerly line of Fort Stevens Drive, as shown on a plat of survey recorded in Survey Book 126 at page 135 among the records of the Office of the Surveyor of the District of Columbia, and continuing

- (1) With the West line of Parcel 88/234, South 17° 26' 30" West 89.10 feet to a point in the North line of Parcel 87/508 as shown on map 4344B, thence, with said line
- (2) North 79° 57' 30" West 8.0 feet to a point, thence
- (3) North 17° 26' 30" East 46.27 feet to a point in the Southerly line of Fort Stevens Drive, thence
- (4) With said line along a curve of radius 692.0 feet, 8.47 feet (chord bearing N 87° 09' 56" E, Chord distance 8.46 feet) to the point of beginning, containing 698.0 square feet of Land.

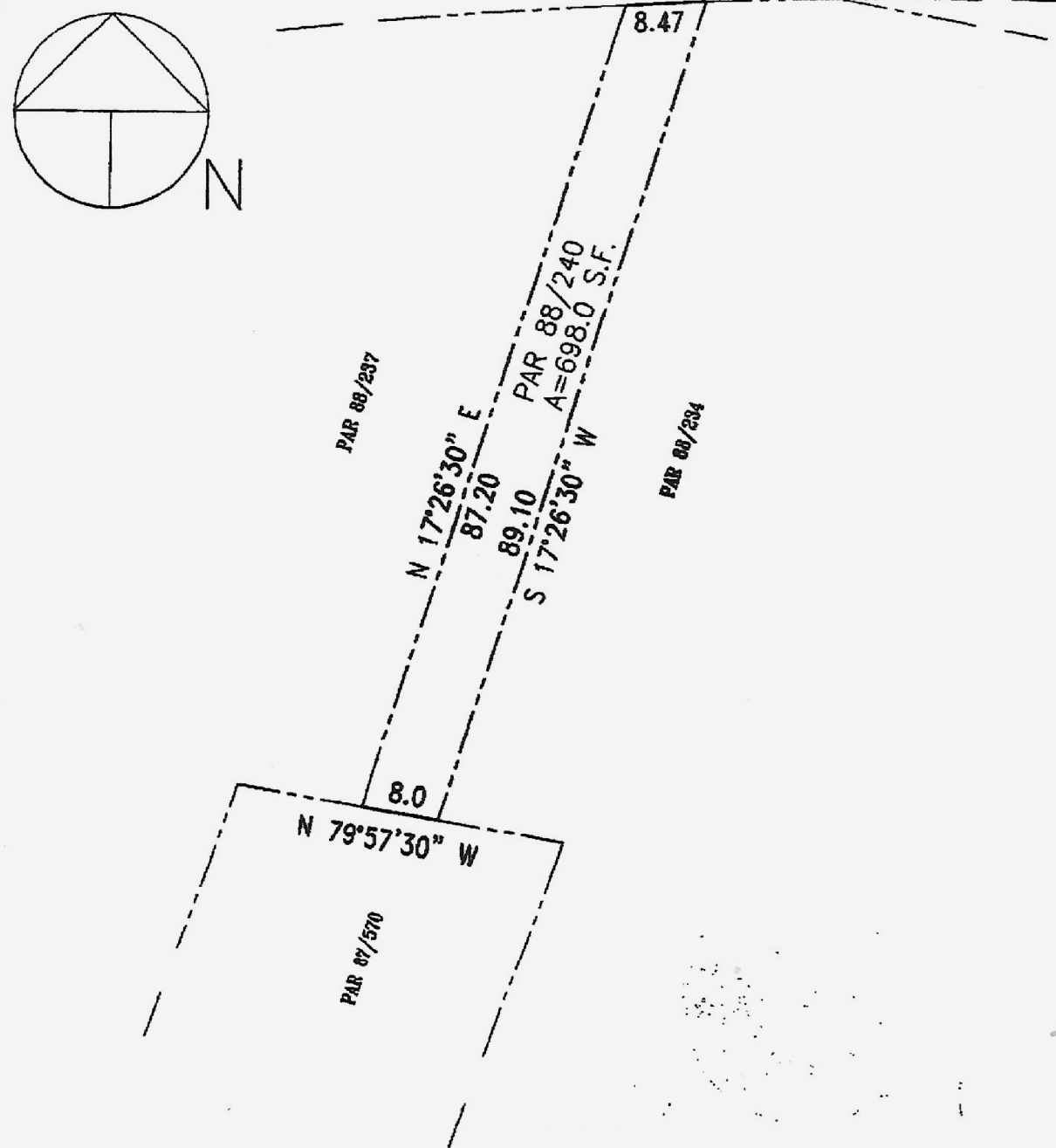
Subject to Easements, Restrictions, Covenants, and other servitudes of record.

A.A. Husbands

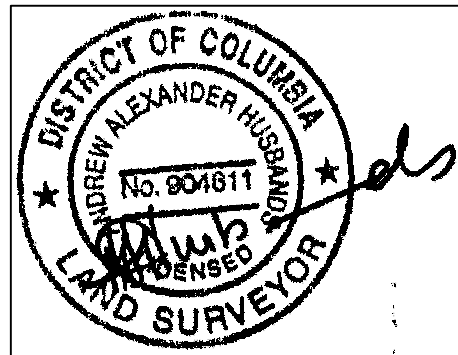
Registered Professional Land Surveyor.

PAR 88/240

FORT STEVENS
DRIVE, N.W.



Doc #: 2019074411
Filed & Recorded
07/15/2019 12:30 PM
IDA WILLIAMS
RECORDER OF DEEDS
WASH DC RECORDER OF DEEDS
RECORDING FEES \$25.00
SURCHARGE \$6.50
TOTAL: \$31.50



01-06-21

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No.	REVISIONS	DESCRIPTION	DATE
EASEMENT COVENANT DOCUMENTS		PROJECT ADDRESS #1320 & 1326 FORT STEVENS DRIVE, N.W. PAR 88/234, PAR 87/570 SQUARE 2791 WASHINGTON, DC. 20011	
AAH CONSULTANTS LLC ENGINEERS SURVEYORS 4200 FORBES BLVD, SUITE 111 LANHAM, MARYLAND 20706 301-429-1750 (PH) 301-429-1757 (FAX)		DESIGNED BY: R.P.	CHECKED BY: F.K.
DRAWN BY: R.P.		A.A.H.	
SCALE 1" = 20'			
DATE 09-24-18			
SHEET C-2D			
JOB No. 19-055			